

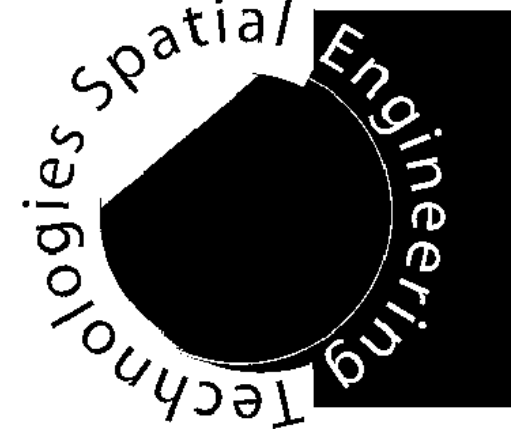
GENERAL NOTES

- 1) **SCOPE:** The Contractor shall provide items, articles, materials, operations or methods listed, mentioned or scheduled on the drawings and/or herein, including labor, materials, equipment and incidentals necessary and required for their completion.
- 2) **CODES:** All work shall conform to the requirements of all local, municipal, state and national codes and ordinances as adopted, with amendments in effect at the time and place of construction. All construction shall conform to the International Residential Code (IRC) 2006 with all amendments as adopted by all agencies having jurisdiction and conform to the Industrial Commission of Arizona's "General Construction Safety Code" and OSHA requirements. The contractor must police subcontractors to comply with these regulations.
- 3) **SCALE:** Do NOT scale drawings use only written dimensions. Where no dimension is provided, consult with the Designer before proceeding with the work.
- 4) **DISCREPANCIES:** Where discrepancies occur on plans, details, general notes, specifications and all applicable codes, the most stringent requirement will govern. Omissions or conflicts between various elements of the drawings, notes, details or specifications shall be brought to the attention of the Designer before proceeding with the work.
- 5) **VERIFICATION:** The Contractor shall verify dimensions and conditions at the job site and report any discrepancies to the Designer.
- 6) **PROTECTION:** The work shall be adequately protected throughout the duration of the contract. The Contractor shall repair and/or replace any work or materials that are broken, chipped, cracked or damaged in any way during the construction including natural causes at no loss to the owner.
- 7) **WORKMANSHIP:** Where not more specifically described in any of the various sections of these specifications, workmanship shall conform to the methods and operations of the best standards and accepted practices of the respective trade.
- 8) **GUARANTEE:** All workmanship and material shall be fully guaranteed for a minimum period of one year from the time of substantial completion and acceptance by the owner. Submit all warranties, instructions, operation manuals, etc. to the owner before final payment.
- 9) **WATERTIGHT - WEATHERTIGHT:** Anything in the contract documents not withstanding the contractor is responsible for constructing a watertight, weathertight project.
- 10) **BUILT-IN ITEMS:** Establish and verify the size and location of blockouts, inserts, openings, curbs, bases and pads for architectural, mechanical, electrical and plumbing with the appropriate trades, drawings and subcontractors prior to construction.
- 11) **CONSTRUCTION LOADS:** Construction material shall be spread out if placed on framed floors or roof. The load shall not exceed the design live load per square foot.
- 12) **SUPPLEMENTAL DESIGNS:** Any architectural or structural design provided by others and submitted for review shall bear the seal of an architect or engineer registered in the state in which the construction occurs.
- 13) **AS-BUILT DRAWINGS:** Any phases of construction that differ from the original, approved construction documents shall be recorded in detail in red on a special set of construction plans specifically set aside for this use and shall be held by the general contractor or Owners if Owner-Build. It shall be the responsibility of the sub contractor performing the work to carefully and accurately log changes daily, prior to and as a condition of final payment, plumbing, mechanical and electrical as-builts with accurately draw changes must be completed and submitted to the Designer as an integral part of the job records.
- 14) **DESIGN CRITERIA:** Applicable where analysis by a structural engineer is not provided.
 Soil Bearing Capacity: 1,500 psf
 Floor Live Load: 40 psf
 Floor Dead Load: 15 psf
 Balcony Live Load: 80 psf
 Balcony Dead Load: 15 psf
 Roof Live Load: Less than 4:12 pitch = 20 psf
 Greater than or equal to 4:12 pitch = 16 psf
 Roof Dead Load: Flat or Composite Shingle = 16 psf
 Tile Roofs = 22 psf
 Wind: Exposure C
 Seismic: Zone C
- 15) **CLEAN UP:** During the course of the project, keep area of the project free from accumulations of waste and rubbish. Areas of work kept clean as suited to requirements of items being installed or items built within work. Keep off-site property, public and private, and on-site property beyond limits of work clean of construction droppings and debris. Waste or rubbish intended for disposal suitable stored to prevent wind dispersal. Tools, sheds and other items no longer in use removed and existing conditions restored, where affected, to original condition prior to construction.
- 16) **FINAL CLEANING:** Finish surfaces and areas clean and fit for occupancy, interior and grounds free from debris temporary or construction items and other unsightly material.
- 17) **SCHEDULE:** Schedule and coordinate work, verify delivery dates for any long lead items and materials to ensure their installation within the proper sequence of the job.
- 18) **PERMITS:** All permit costs to be paid by the contractors unless specified otherwise.
- 19) **LOCKS:** Contractor shall include keying of locks on new doors and provide two keys per new lock.
- 20) **MATERIALS:** Do not use paints, primers, sealers, or glues that emit flammable, toxic or noxious fumes. Each trade shall be responsible to verify the materials he is using and comply with manufacturers' written instruction for their use.
- 21) **INSECTICIDE:** Treat soil under slabs, both interior and exterior, for protection against termites. Provide 5 year written guarantee against infestation.
- 22) **PLANT LIFE:** Protect and preserve any existing trees, cactus and shrubs that are on site but not in building areas.
- 23) **BLOCKING:** Contractor to provide solid blocking in all walls for door stops and other equipment requiring backing.
- 24) **EXTERIOR FINISH:** "Western One-Kote" Stucco on wire lath.
- 25) **INTERIOR FINISH:** 1/2" Gypsum Board and 5/8" Gypsum Board for Fire Protection.
- 26) **MOISTURE PROOFING:** Bath tub and shower enclosures shall be finished with moisture resistant gypsum board and ceramic tile or equal to a height of 6'-0" above floor.
- 27) **FIREPLACE:** Approved Zero-Clearance Fireplace per I.M.C. fireplace to be installed per manufacturer's specification, model and I.C.B.O. # and report will be posted at job site and will be available to inspector when unit is chosen.
- 28) **SOUND PROOFING:** Provide Batts sound insulation in walls around laundry room, bathrooms and bedrooms and between floors.

SHEET INDEX

- 1) A1 - Plot Plan
- 2) A2 - Foundation Plan
Dimensioned Floor Plan
Foundation Plan
Roof/Framing Plan
- 3) A3 - Details
- 4) A4 - Elevations

Designer:



Spatial Engineering Technologies, Inc.

Colorado: 636 54th Ave, Greeley, CO 80634
 Arizona: PO Box 1494, Tubac, AZ 85646

Phone: (520) 841-2737
 Email: Doug@Tubac.Biz
 Designer: Doug Roquet

Owners:

Bob and Emma Blair
 3710 37th Street
 Evans, CO 80620

Contractor:

Marvin Davis
 2545 29th Ave.
 Greeley, CO 80634
 (970) 302-7734

Project:

Blair - Garage Addition
 3710 37th Street
 Evans, CO 80620
 Parcel#: 095926000000
 Legal Description: 17667B PT E2NE4 26 5 66 BEG
 1080'W & 30'S OF NE COR S200' W200' N200' E200' TO
 BEG SITUS: 3710 37 ST WELD 000000000

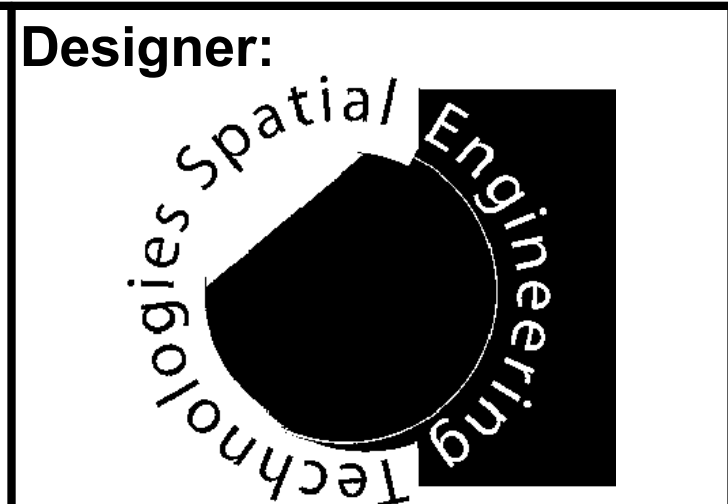
Mark:	Date:	Description:
DR	15 May 2009	Draft 1
DR	18 May 2009	Draft 2

Project No: Johnson-09-10
 Model File: Blair Garage
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Plot Plan

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A1



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Details

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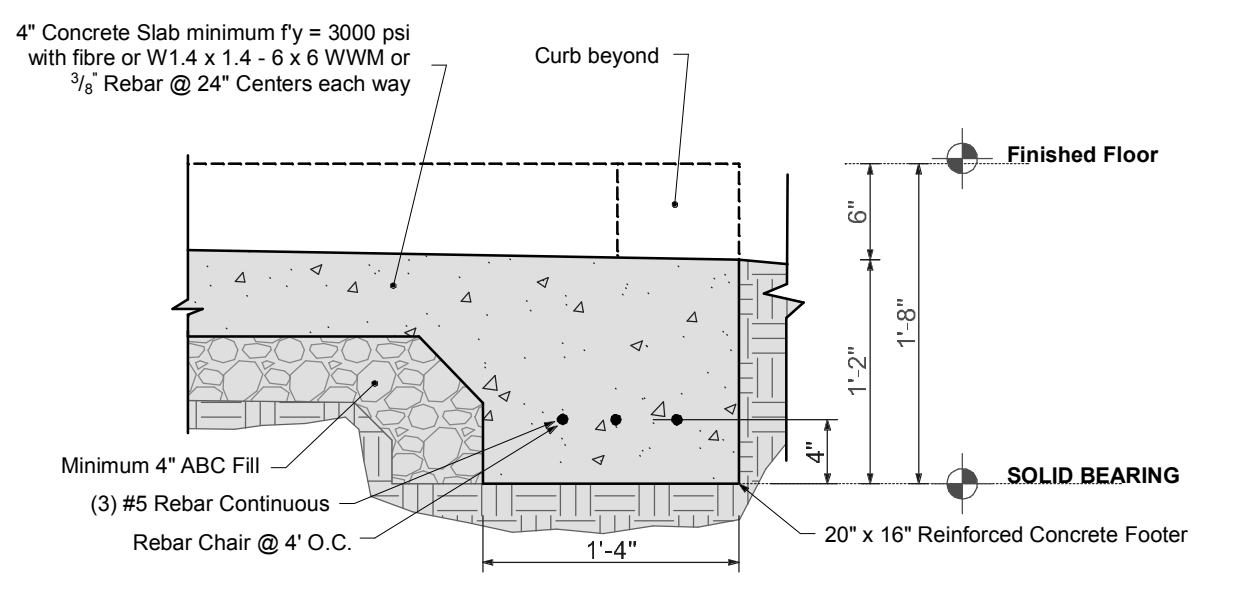
A3

1 Exterior Bearing Wall to Footer Connection
 Scale: NTS

2 Interior Bearing Wall to Footer Connection
 Scale: 1" = 1'

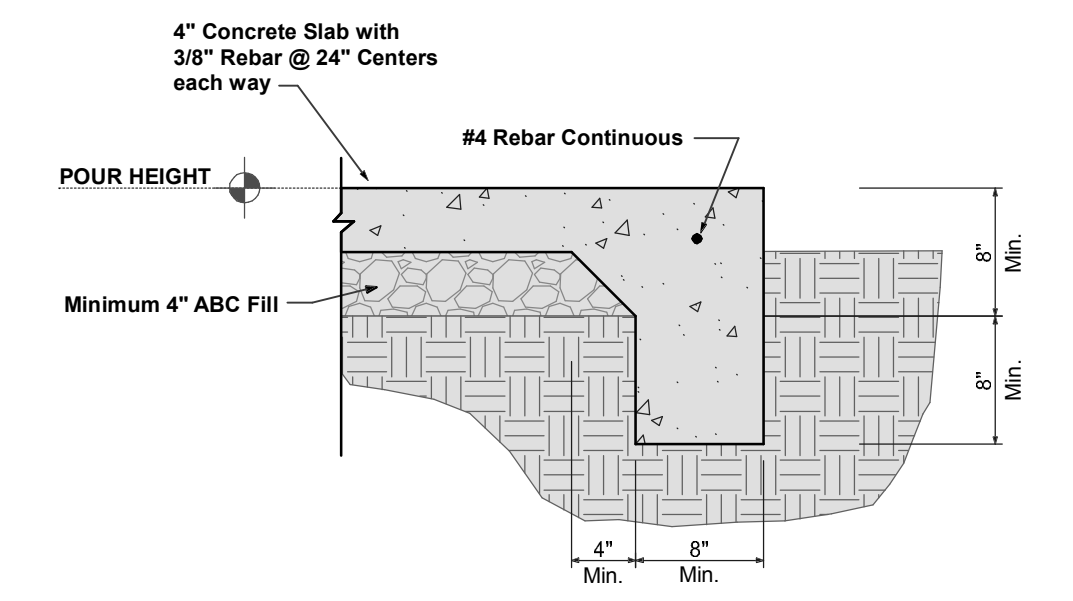
3 Slab Turndown (Typical)
 Scale: 1" = 1'

4 Wood Post Connection (Typical)
 Scale: 1" = 1'



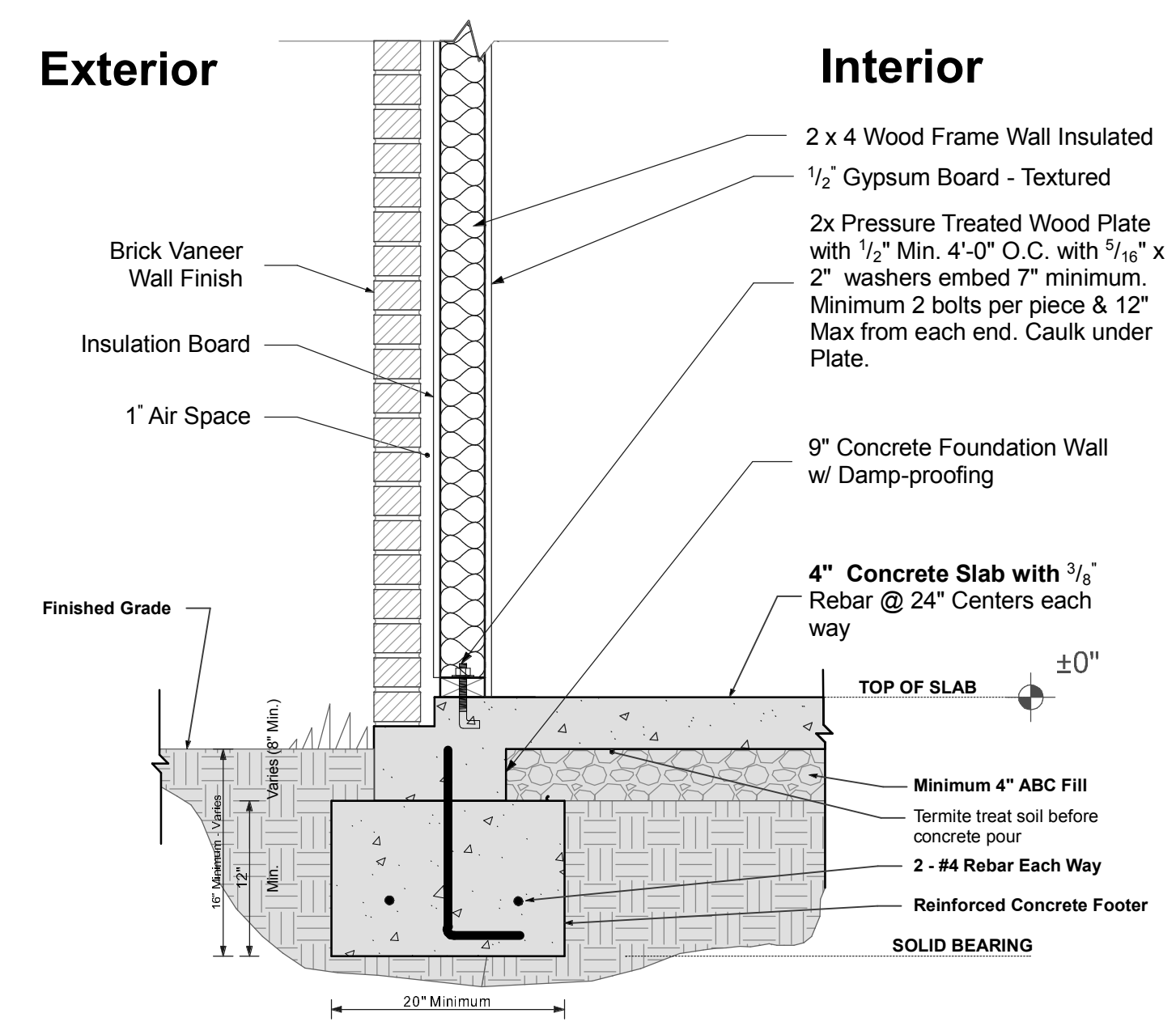
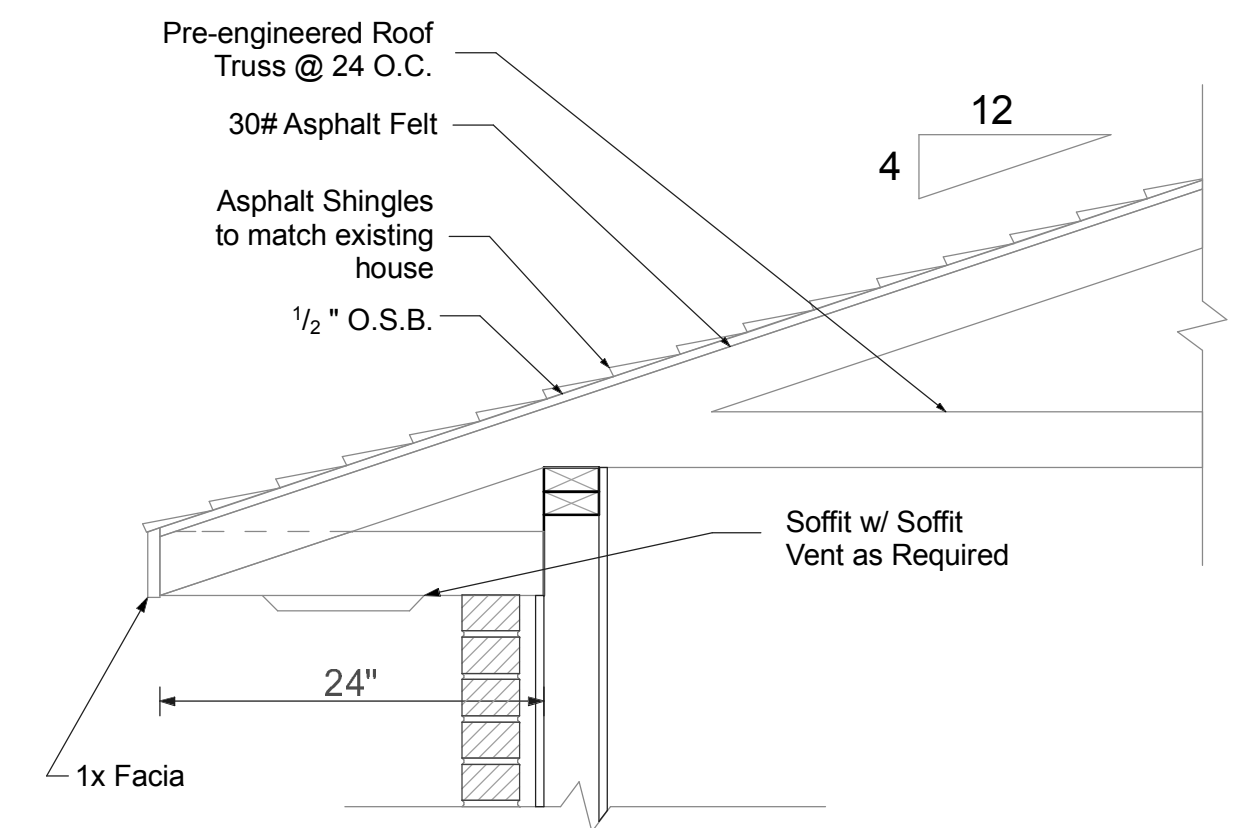
5 Footing at Garage Door
 Scale: 1" = 1'

6 CMU Footer (Typical)
 Scale: NTS



3 Slab Turndown (Typical)
 Scale: 1" = 1'

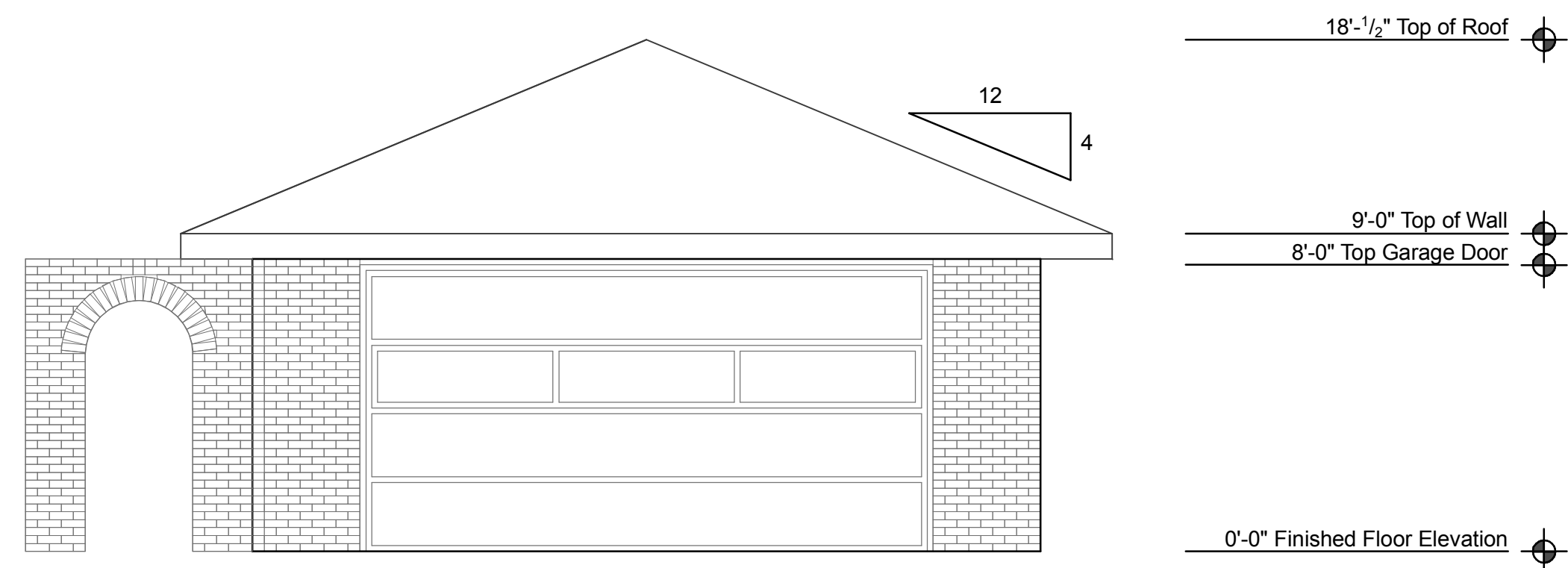
4 Wood Post Connection (Typical)
 Scale: 1" = 1'



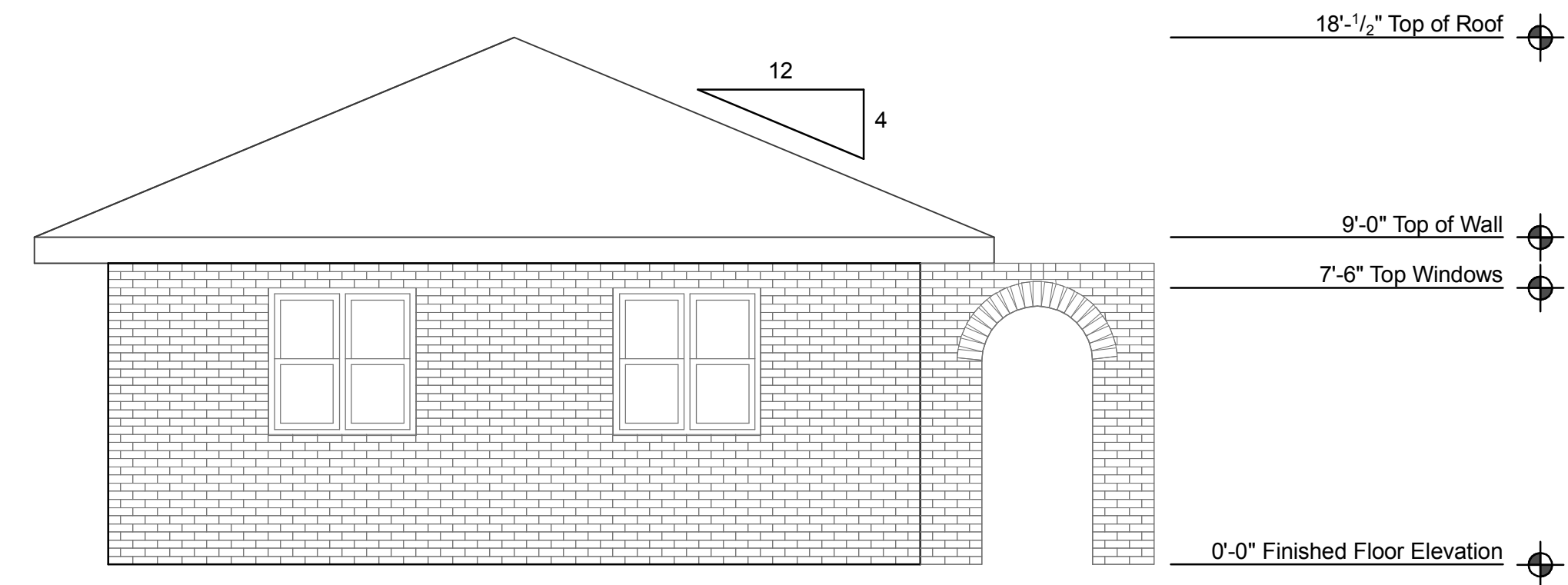
8 Wall Section (Typical)
 Scale: 1" = 1'

7 Beam at Porch/Patio
 Scale: NTS

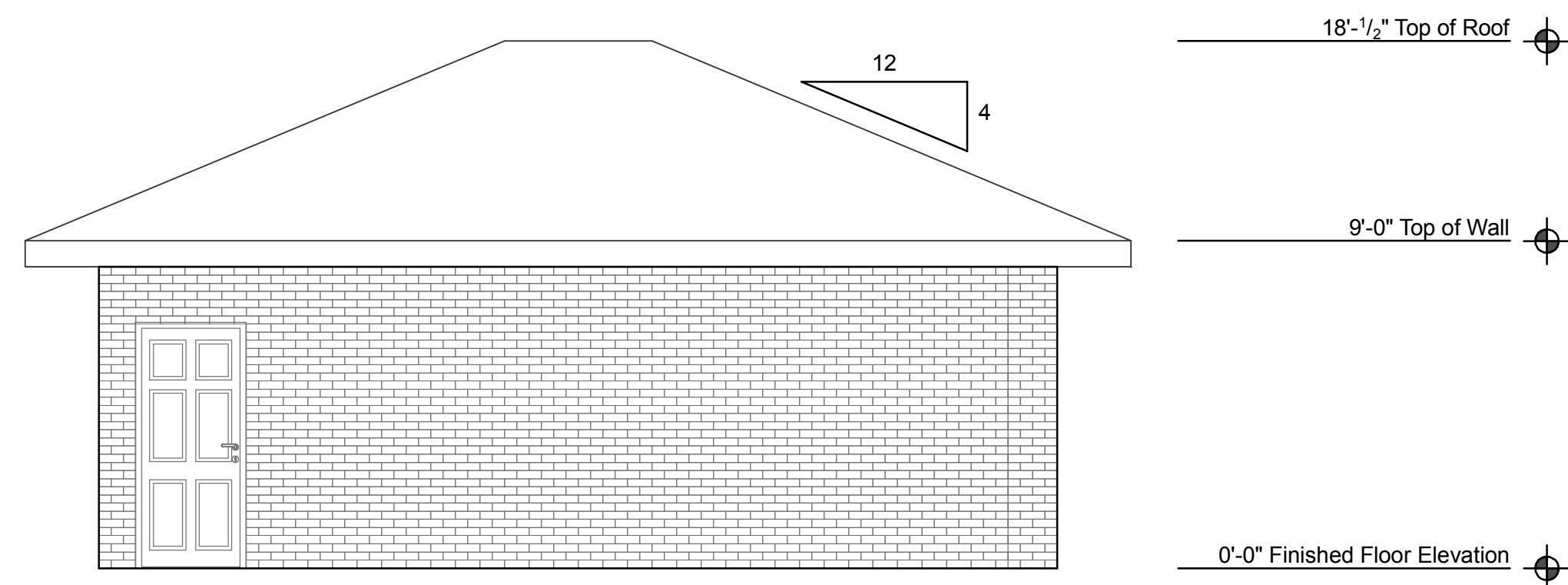
Note: NTS = Not To Scale



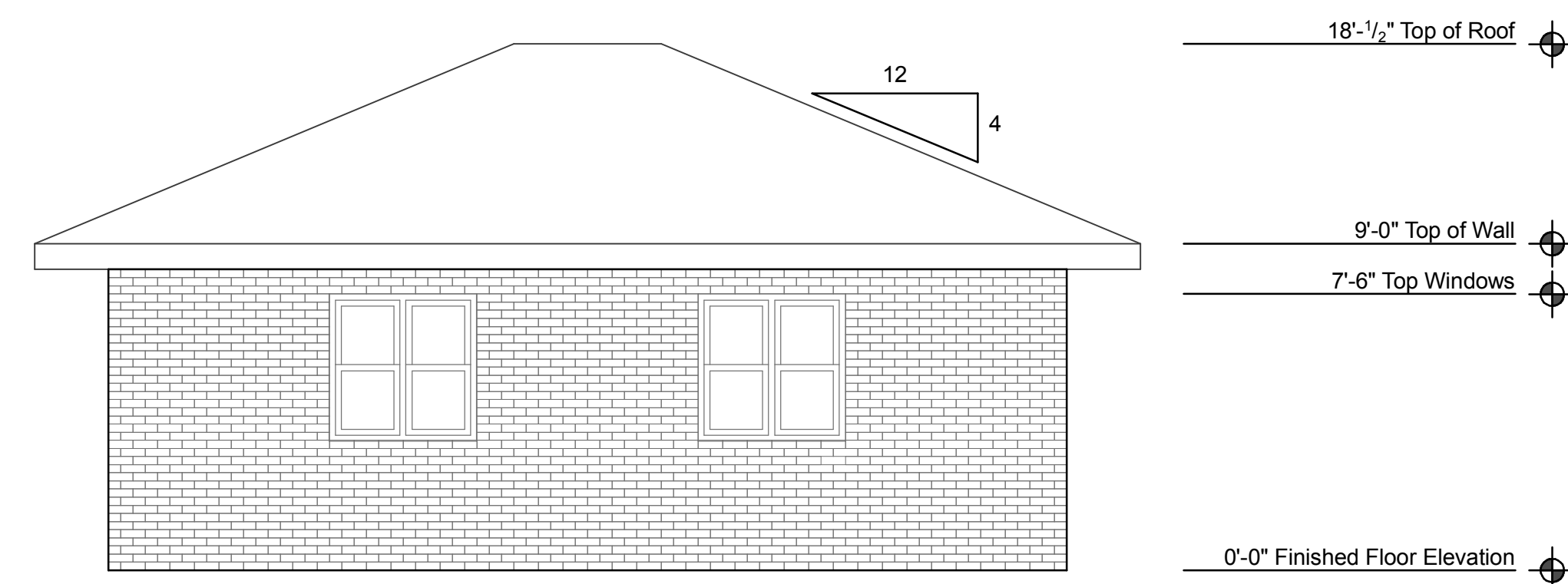
Front Elevation $\frac{1}{4}'' = 1'$



Back Elevation $\frac{1}{4}'' = 1'$

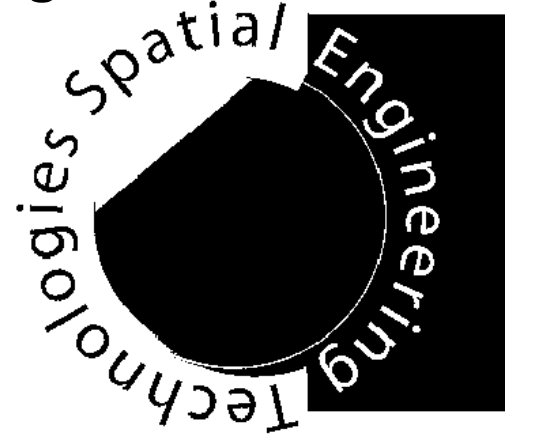


Left Elevation $\frac{1}{4}'' = 1'$



Right Elevation $\frac{1}{4}'' = 1'$

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Elevations

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A4